



# COMMERCIAL PERMIT APPLICATION

Industrial, Commercial and Multi-Family

**Applicant Please Complete Items I - II**

Permit No. \_\_\_\_\_

<p>PROJECT ADDRESS</p> <p><b>1.</b> _____</p> <p>BUSINESS / COMPLEX NAME</p> <p><b>2.</b> _____</p> <p>LEGAL (Lot, Block and Subdivision)</p> <p><b>3.</b> _____</p> <p>OWNER INFORMATION</p> <p><b>4.</b> Name _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Phone _____ Fax _____</p> <p>CONTRACTOR / CONTRACTOR PH. #</p> <p><b>5.</b> _____</p> <p>VALUATION</p> <p><b>6. \$</b> _____</p> <p><small>7 Include all costs for constructing the project, such as site work, architectural, structural, engineering, electrical, mechanical, plumbing and contractor's profit - but not land costs.</small></p>	<p><b>7. PROJECT TYPE</b></p> <p><input type="checkbox"/> New Commercial Building      <input type="checkbox"/> New Multi-Family Building</p> <p><input type="checkbox"/> New Commercial - Shell Only      <input type="checkbox"/> Add-On or Remodel - Commercial</p> <p><input type="checkbox"/> New Commercial - Finish Only      <input type="checkbox"/> Add-On or Remodel - Multi-Family</p> <hr/> <p><b>8. PROJECT INFORMATION</b></p> <p>Lot Size _____ <input type="checkbox"/> SF <input type="checkbox"/> ACRE</p> <p>Setbacks ▶ Front: _____ Left: _____</p> <p>Back: _____ Right: _____</p> <p>NAICS# _____</p> <p>No. of Stories _____ No. of Units _____</p> <p>Occupancy: a) Type _____ b) Load _____</p> <p>Construction Type _____</p> <hr/> <p><b>9. PROJECT SIZE (SQ FT)</b></p> <p>New Building _____ Add-On _____</p> <p>Shell Only _____ Remodel _____</p> <p>Finish Only _____ <b>Total</b> _____</p> <hr/> <p><b>10. PROJECT DESCRIPTION</b></p> <p>Explain ▶ _____</p> <p>_____</p> <hr/> <p><b>11. READ AND SIGN</b></p> <p>I hereby certify by my signature below that: 1) I understand that I am the person solely responsible for inspections and all related fees and charges, 2) I agree to abide by all laws and ordinances governing this type of work whether specified herein or not, and 3) I have read and examined this application and know the same to be true and correct.</p> <p>_____ Signature</p> <p>_____ Date Signed</p>
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- NOTICE:**
- With application, submit 3 sets of complete plans, covering building, civil, grading, site, paving, parking, landscaping, electrical, mechanical and plumbing. Other plans or details may be required upon request.
  - All electrical, mechanical and plumbing work must be done by contractors with appropriate licenses.
  - Incomplete applications will not be accepted.
  - We enforce the 2012 iCode and 2014 NEC.
  - Online permits and inspections available at [www.MYGOV.us](http://www.MYGOV.us).

**MAIL OR DELIVER TO:**

Permits and Inspections  
City of Manvel  
20025 Hwy 6  
Manvel, TX 77578

(281) 489-0630 x5  
(281) 489-0634 Fax  
[www.MYGOV.us](http://www.MYGOV.us)

**OFFICE USE ONLY**

**City Official:** \_\_\_\_\_  Approved  Denied

Signature \_\_\_\_\_

Date Signed \_\_\_\_\_

## CITY OF MANVEL

### FLOOD DAMAGE PREVENTION ORDINANCE SECTION 32

#### QUICK REFERENCE GUIDE

#### FLOOD ZONES

	ZONE X UNSHADED	ZONE X SHADED	ZONE AO 2' or 3' depths	ZONE AE	FLOODWAY
<b>COMMERCIAL:</b> New structures, concrete, asphalt, crushed concrete, excavations, or fill	See notes # 1,2, 4	See notes #1,2, 4	See notes #1,2, 4	See notes #1,2, 4	Not allowed
<b>MINIMUM ELEVATIONS</b> Commercial and residential (lowest floor)	18" above top of curb or center of street, or 12" above adjacent natural grade whichever is higher	24" above adjacent natural grade	At or above base flood depth number See note #2	24" above the elevation on the latest FEMA Firm panel See note #2	N / A
<b>RESIDENTIAL:</b> New structures, concrete, asphalt, or crushed concrete. See Note 4 Existing structure add-on. See note #3	Maximum of 20% impervious cover for the entire property	Maximum of 20% impervious cover for the entire property	See note #1 & 2 Exception: a one time increase of up to 20% impervious cover may be allowed	See note #1 & 2 Exception: a onetime increase of up to 20% impervious cover may be allowed	Not allowed
<b>RESIDENTIAL:</b> Ponds, excavations, or fill	Maximum of 20 loads (250 cubic yards) per acre added or excavated disbursed and spread evenly within 6 months. More than 20 loads see note #1.	Maximum of 20 loads (250 cubic yards) per acre added or excavated disbursed and spread evenly within 6 months. More than 20 loads see note #1.	Maximum of 60 cubic yards per acre per year added or excavated disbursed and spread evenly within 6 months. More than 60 cubic yards see note #1	Maximum of 60 cubic yards per acre per year added or excavated disbursed and spread evenly within 6 months. More than 60 cubic yards see note #1	Not allowed

#### NOTES

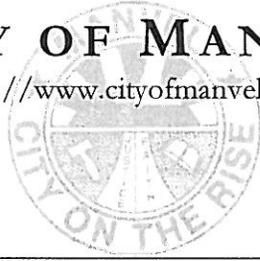
1. A registered professional engineer shall develop and submit to the floodplain administrator a hydraulic analysis (Drainage Plan) and Mitigation Plan complying with the City of Manvel Design Criteria Manual.
2. A registered professional engineer, architect or land surveyor shall submit to the floodplain administrator elevation certifications for: 1.) Proposed construction, with permit application, 2.) After forms are erected, but before foundation inspection. 3.) At completion of construction before final inspections.
3. If additions or repairs that would affect FEMA regulations costing 50% or more of the current market value of the building are made to an existing building, such building shall be made to conform to the requirements for a new building.
4. All commercial structures and any other structures 5,000 square feet or greater shall go to the appropriate Drainage District prior to a building permit being issued.

THE ABOVE INFORMATION IS GENERAL INFORMATION AND SUBJECT TO CHANGE

FOR MORE INFORMATION GO TO: [cityofmanvel.com](http://cityofmanvel.com) or [municode.com](http://municode.com)

# CITY OF MANVEL

<http://www.cityofmanvel.com>



PO Box 187  
Manvel, Texas 77578

Phone: (281) 489-0630  
Fax: (281) 489-0634

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## **ACKNOWLEDGMENT AND HOLD HARMLESS AGREEMENT**

This acknowledgment will be used for the erection, construction, reconstruction or expansion of any structure of which any portion of such erection, construction, reconstruction or expansion would occur within one hundred feet (100') but not closer than within fifty (50) feet, of any existing pipeline or pipeline easement.

"I, \_\_\_\_\_, do hereby state, on my oath, that I fully realize that I am applying for a permit or certificate of occupancy from the City of Manvel to build and/or occupy a structure within fifty (50) feet of an existing pipeline or pipeline easement; that I am fully aware of the dangers inherent in building near such pipeline or pipeline easement, including, but not limited to, explosion and release of noxious, toxic and flammable substances; and, further, that I do hereby RELEASE and agree to forever INDEMNIFY, DEFEND AND HOLD HARMLESS the City of Manvel, Texas, its officers, successors and assigns from all liability in any way arising from the building, use or habitation of the structure described in the said permit."

ADDRESS OF PROPERTY: \_\_\_\_\_ TYPE OF CONSTRUCTION: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF INDIVIDUAL APPLYING FOR PERMIT

\_\_\_\_\_  
DATE SIGNED

**PER CODE OF ORDINANCES OF THE CITY OF MANVEL, TEXAS CHAPTER 35 "LICENSES AND SPECIAL BUSINESS REGULATIONS**

***THIS DOES NOT SUPERSEDE ANY EXISTING PIPELINE EASEMENT REQUIREMENTS***

**BUILDING DESIGN CRITERIA**  
**For City of Manvel**

Roof Snow Load	Not Applicable
Wind Speed	110 MPH
Seismic Design Category	Not Applicable
Weathering	Negligible
Frost Line Depth	6"
Termite	Very Heavy
Decay	Moderate to Severe
Winter Design Temperature	28°
Flood Hazards	See FEMA Map

Reference Guide During Construction	
Manvel City Hall	281-489-0630
Manvel Police Department	281-489-1212
Manvel Fire Department	281-692-0279
Manvel EMS	281-489-6144

Questions on Flood Zone Area is Posted at Flood Zone Map  
Located at City Hall

**ATTENTION  
CONTRACTORS,  
BUSINESS OWNERS,  
AND  
HOMEOWNERS**

**Due to the Franchise Agreement  
Between**

**The CITY OF MANVEL & IESI,  
If you have a dumpster on site,  
anywhere in the Manvel city  
limits,**

**the dumpster must be provided  
by IESI.**

**They can be contacted by calling  
281-331-0810**

# ATTENTION

DEVELOPER AND CONTRACTOR:  
ALL ETJ PROJECTS NEED A SET OF  
PLANS DELIVERED TO THE  
BRAZORIA COUNTY ENGINEER'S  
OFFICE FOR REVIEW AND  
COMMENTS.

THIS WILL NEED TO  
BE DONE PRIOR TO THE CITY OF  
MANVEL ISSUING PERMITS

## City of Manvel Building Inspection and Permits

### Permits:

A permit shall be obtained before beginning construction, alteration or repairs, other than ordinary repairs. Ordinary repairs are nonstructural repairs and do not include addition to, alteration of, or replacement or relocation of water supply, sewer, drains, gas, vents, or similar piping, electrical wiring, or mechanical work.

### Plans:

Plans shall be of sufficient clarity to indicate the nature and extent of the proposed work. Plans shall include a plot plan showing the location of all easements, drainage, adjacent grades, property lines, the proposed building, and of every other building on the property. The design loads shall be clearly indicated on the plans. Foundation plans shall include an engineer's seal and signature.

### Codes:

All construction will comply with the adopted building codes and City of Manvel Ordinances\*. Current codes are as follows:

- 2012 International Building Codes
- 2012 International Residential Code
- 2012 International Plumbing Code
- 2014 National Electric Code
- 2012 International Mechanical Code
- 2012 International Fire Code
- 2012 Fuel and Gas Code
- 2012 IECC (International Energy Conservation Code)

### **For commercial jobs inspections will be scheduled by the Permit Holder Online**

- Foundation Pier- Inspection will be made after holes are drilled, with reinforcing steel is in place and prior to the placing of concrete.
- Foundation- Inspection shall be made after trenches are excavated; forms are erected, with reinforcing steel in place and prior to placing concrete.
- Concrete Flatwork- Inspections are made after trenches are excavated, forms erected, with reinforcing steel in place and prior to placing concrete.
- Hurricane Clip and Strap- Inspections are made at frame stage prior to covering with sheathing. Note: may accept an approved inspection from a State of Texas Windstorm Inspector or approved Windstorm Engineer. Inspection report must be received before a framing inspection can be approved.
- Plumbing, Electrical and Mechanical rough inspections- Shall be made prior to covering or concealment, before fixtures are set and prior to framing inspection.
- Framing Inspection- Shall be made after the roof, brick ties, all framing, fire blocking, draftstopping and bracing is in place. Framing inspection is made after the plumbing, electrical, and mechanical rough inspections are approved.
- Final Inspection- Shall be made after building is complete and ready for occupancy.

#### OTHER INSPECTIONS

- |                                     |                                   |
|-------------------------------------|-----------------------------------|
| • Electric Meter or Temporary Poles | Demolition                        |
| • Plumbing Gas Test                 | Culverts                          |
| • Manufactured Home Placement       | Swimming Pools                    |
| • Water Wells                       | Ponds                             |
| • Septic Systems                    | HVAC (Heating & Air Conditioning) |

**\*\*All Ordinances are available for review by going to [www.cityofmanvel.com](http://www.cityofmanvel.com) under the municode link on the left hand side of the main page\*\***

## COMMERCIAL BUILDING PERMIT APPLICATION CHECKLIST

Application **MUST** include the following:

- \_\_\_\_\_ P & D's release with any notations- LDP
- \_\_\_\_\_ Septic & Water Well Permit (if applicable)
- \_\_\_\_\_ Three (3) Sets of Building Drawings (All drawings must be to scale)
  - Framing Details
  - Wall Section Detail
  - Foundation Plan (Engineered Sealed)
  - Beam Detail
  - Drainage Detail
  - Fire Suppression (if applicable)
  - Electrical Detail\*
  - Mechanical Detail (HVAC)
  - Plumbing Detail-Riser Diagram\*\*
  - Materials Description
  - Driveway Detail
- \_\_\_\_\_ \*In order to meet the Electrical Requirements of the Texas State Engineering Practice Act the following will apply:
  - If a lease space building new or remodeled has an individual meter & is over 5000' in area, a professional engineer registered in the State of Texas shall design the electrical system.
  - If the lease space or building new or remodeled is less than 5000' in area, a master electrician licensed in the City of Manvel may design the electrical system. The one line diagram shall include the master electricians name, his master # and the project #.
- \_\_\_\_\_ \*\*Must be signed by a Master Plumber
- \_\_\_\_\_ Three (3) Sets of Civil Drawings separate from building plans (All drawings must be to scale)
- \_\_\_\_\_ One (1) Set to Brazoria County Engineers office for Review and Comments
- \_\_\_\_\_ Survey & Plot Plan (may be combined and must show all utilities, sewer, water, fire hydrants, manholes, etc., and drainage arrows)
- \_\_\_\_\_ Tree Survey & Disposition Plan-LDP
- \_\_\_\_\_ Landscape Drawings-Irrigation Plans
- \_\_\_\_\_ Drainage Study
- \_\_\_\_\_ Elevations (Beginning and Finished)
- \_\_\_\_\_ Engineered Sealed Structural Drawings
- \_\_\_\_\_ Floor Plan
- \_\_\_\_\_ If property is located in our ETJ, evidence of a Brazoria County Permit is required.
- \_\_\_\_\_ Registration # from Architectural Barriers
- \_\_\_\_\_ Form Survey (required at time of foundation inspection, after forms are in place and before slab is poured; form survey must include registered surveyor seal, signature and date.
- \_\_\_\_\_ Utility Screening
- \_\_\_\_\_ Evidence of Compliance with 2012 IECC (International Energy Conservation Code)
- \_\_\_\_\_ Evidence of Windstorm Compliance
- \_\_\_\_\_ Elevation Certificate (if applicable) must be submitted **PRIOR** to placing concrete

**DO NOT REMOVE GREEN OR RED STICKERS FROM DWELLING  
BEFORE FINAL OCCUPANCY INSPECTION**

**DO NOT COVER UP WORK BEFORE INSPECTIONS ARE PERFORMED  
MUST HAVE KNOX BOX INSTALLED PRIOR TO FINAL OCCUPANCY INSPECTION**

# **NOTICE TO ALL CONTRACTORS !**

## **ASBESTOS REQUIREMENTS**

**BUILDING OWNERS OR CONTRACTORS ARE REQUIRED, BEFORE PERFORMING WORK SUCH AS DEMOLITION, ALTERATION OR RENOVATION ON ANY COMMERCIAL OR PUBLIC BUILDING TO HAVE AN ASBESTOS SURVEY COMPLETED BY A PERSON LICENSED UNDER THE TEXAS ASBESTOS HEALTH PROTECTION ACT. EFFECT SEPT. 1, 2001.**

### **EXCEPTIONS:**

**INDUSTRIAL OR MANUFACTURING FACILITIES WITH RESTRICTED AREAS.**

**APARTMENTS WITH FEWER THAN FOUR UNITS.**

**FEDERAL BUILDINGS.**

**MILITARY BUILDINGS.**

**SUBMIT COMPLETED SURVEY WITH PERMIT APPLICATION.**

**PERMIT APPROVAL IS SUBJECT TO THE ASBESTOS SURVEY FOR ALL AREAS INCLUDED IN PROPOSED WORK.**

**THE BUILDING OWNER RETAINS THE PRIMARY RESPONSIBILITY FOR THE PRESENCE, CONDITION, DISTURBANCE, RENOVATION, DEMOLITION AND DISPOSAL OF ANY ASBESTOS ENCOUNTERED IN THE CONSTRUCTION.**

**FOR MORE INFORMATION: [www.dshs.state.tx.us/asbestos/default.shtm](http://www.dshs.state.tx.us/asbestos/default.shtm)**

### **REFERENCES;**

**OSHA 29 CFR 1926.1101**

**TEXAS DEPARTMENT OF HEALTH 25 TAC 295.31-295.73**

**NATIONAL EMISSIONS STANDARDS 40 CFR SUBPART M**

**THE TEXAS ASBESTOS HEALTH PROTECTION ACT,**

**AMENDED BY SENATE BILL NO. 509. EFFECTIVE 9/1/01.**